

Flood Assessment Certificate

FC250327

Issued pursuant to NH-SCHED1 of the Partially Operative Selwyn District Plan.



Property Address:	Earlsbrook Stage 1 – 1491 Springs Road, Lincoln
Legal Description:	Proposed Lots 1-175 and 200-207 of RC245394 (as varied by RC255620)
Date of Issue:	19/08/2025
This certificate is valid until:	19/08/2027

The sites are not located on land within a high hazard area.

The sites are likely to be subject to inundation in a 200-year Average Recurrence Interval (ARI) flood event.

Minimum finished floor level shall be as per the following:

Lot	FFL (m NZVD 2016)	Lot	FFL (m NZVD 2016)	Lot	FFL (m NZVD 2016)
1	9.72	41	9.27	80	8.61
2	9.68	42	9.31	81	8.56
4	9.58	43	9.30	82	8.51
5	9.54	44	9.35	83	8.42
6	9.48	45	9.50	84	8.33
7	9.43	46	9.80	85	8.69
8	9.38	47	10.16	86	8.63
9	9.31	48	10.17	87	8.59
10	9.30	49	10.28	88	8.54
11	9.30	50	10.45	89	8.50
12	9.15	51	10.57	90	8.45
13	9.10	52	10.56	91	8.40
14	9.05	53	10.53	92	8.36
15	9.00	54	10.28	93	8.33
16	8.95	55	10.52	94	8.30
17	8.90	56	10.52	95	8.21
18	8.85	57	10.26	96	8.11
19	8.79	58	10.18	97	8.11
20	8.69	59	10.16	98	8.12
21	9.19	60	10.07	99	8.15
22	9.13	61	9.99	100	8.20
23	9.07	62	9.91	101	8.23
24	9.02	63	9.85	102	8.28
25	8.98	64	9.75	103	8.32
26	8.93	65	9.65	104	8.36
27	8.87	66	9.55	105	8.40
28	8.74	67	9.45	106	8.40
29	8.66	68	9.37	107	8.36
30	8.58	69	9.31	108	8.32
31	8.50	70	9.24	109	8.28
32	8.74	71	9.17	110	8.23
33	8.90	72	9.10	111	8.20
34	8.94	73	9.06	112	8.15
35	8.98	74	9.02	113	8.12
36	9.02	75	8.98	114	8.11
37	9.06	76	8.94	115	8.11
38	9.09	77	8.90	116	9.00
39	9.15	78	8.85	117	9.03
40	9.22	79	8.62	118	9.07

Lot	FFL (m NZVD 2016)	Lot	FFL (m NZVD 2016)
119	9.11	151	9.46
120	9.14	152	9.42
121	9.19	153	10.31
122	9.23	154	9.54
123	9.26	155	9.45
124	9.23	156	9.38
125	9.21	157	9.46
126	9.18	158	9.50
127	9.13	159	9.55
128	9.10	160	9.58
129	9.30	161	9.63
130	9.18	162	9.67
131	9.06	163	9.72
132	9.06	164	9.75
133	9.10	165	9.78
134	9.15	166	10.85
135	9.20	167	10.78
136	9.24	168	10.75
137	9.26	169	10.69
138	9.25	170	10.64
139	9.22	171	10.58
140	9.18	172	10.52
141	9.12	173	10.46
142	9.29	174	10.42
143	9.75	175	10.36
144	9.75	200	9.02
145	9.70	201	8.96
146	9.65	202	8.76
147	9.61	203	8.76
148	9.56	204	8.54
149	9.53	205	8.67
150	9.49	206	8.80
		207	8.84

Disclaimers:

- Whether the site is likely to be subject to inundation in a 200-year ARI flood event, and the minimum finished floor level have been determined with reference to:
 - The most up to date models and maps held by Selwyn District Council or Canterbury Regional Council;
 - Any relevant field information; and
 - Any site specific flood assessment prepared by a suitably qualified and experienced person, including a site specific Flood Hazard Assessment prepared by Canterbury Regional Council.
- This certificate is based on the best information available to Selwyn District Council at the time the certificate was issued. This information is subject to change and may be updated at any time, including during the valid period of this certificate. Selwyn District Council accepts no liability for changes in this information.
- This certificate relies on flood modelling. Flood modelling is a tool that predicts what might happen in a flood event of a given magnitude. A flood model uses hypothetical scenarios and makes assumptions about how a flood event might unfold however there are many more variables that can influence how a

site is affected in an actual flood event. The minimum finished floor level does not infer that no damage will occur to a structure built above the minimum finished floor level in a flood event.

4. The Building Act 2004 also manages flood risk. The minimum floor level certified under the Partially Operative District Plan may be different to the floor level required by the Building Act 2004, which must be met in order to obtain a building consent.
5. Any activity or construction carried out on a site where a Flood Assessment Certificate is issued is carried out at your own risk, and Council recommend that you carefully consider the impact of any flooding risk associated with this site.

Advice notes:

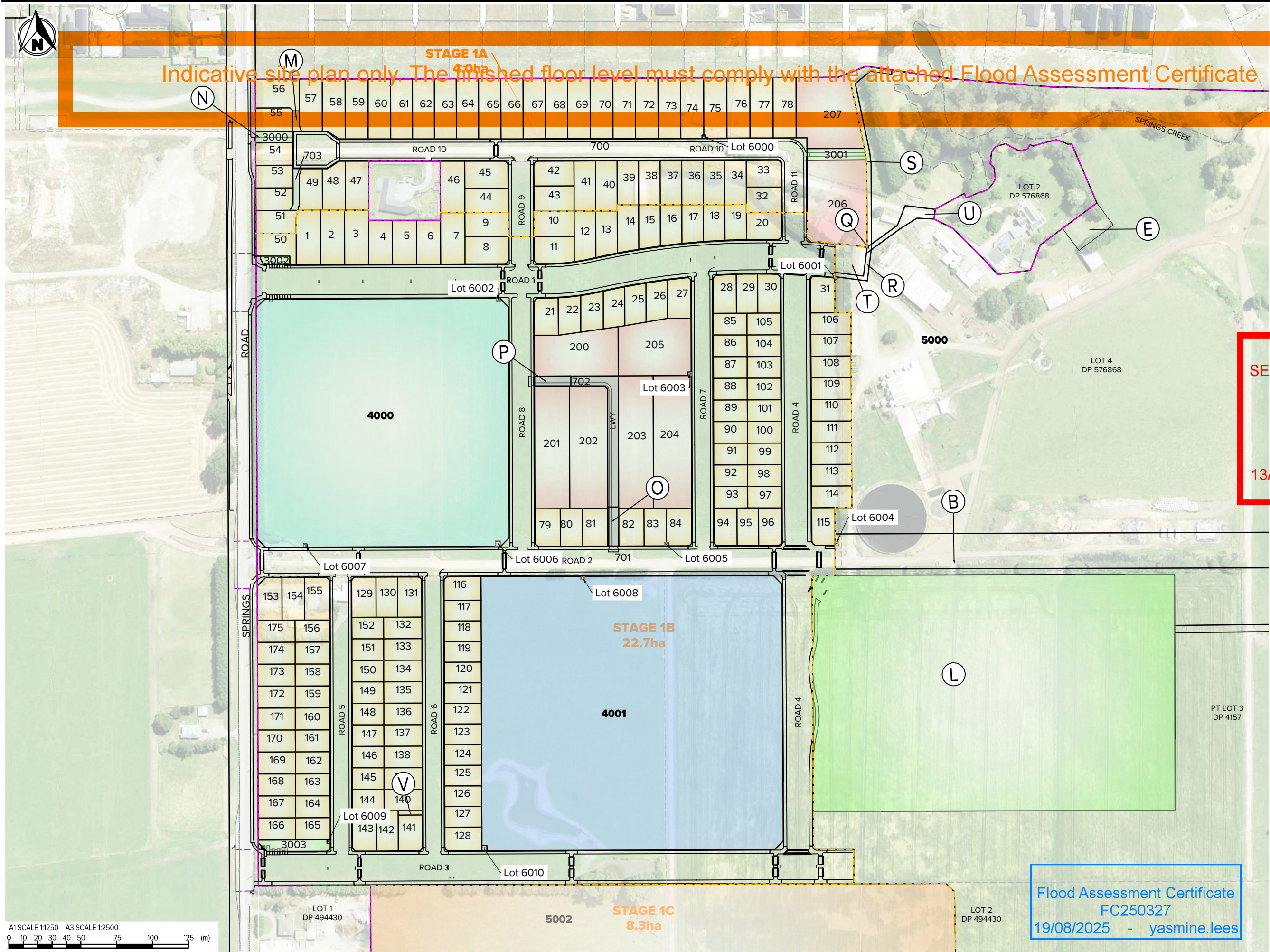
- a) For a new residential unit or principal building or the alteration of, or addition to any residential unit or principal building to be a permitted activity under the Selwyn District Plan as a whole, all other relevant rules must be complied with.
- b) If the certified level is for a particular location on the site, the certified level is the minimum floor level for the proposed building location shown on the attached plan. If you wish to build elsewhere on the site the minimum floor level may be different, and you will need to request another certificate for the new location.
- c) For the purposes of this certificate, ground level means:
 - a. The actual finished surface level of the ground after the most recent subdivision that created at least one additional allotment was completed (when the record of title is created);
 - b. If the ground level cannot be identified under paragraph (a), the existing surface level of the ground;
 - c. If, in any case under paragraph (a) or (b), a retaining wall or retaining structure is located on the boundary, the level of the exterior surface of the retaining wall or retaining structure where it intersects the boundary.
- d) You must reference this certificate when applying for a building consent or the building consent will not be accepted.

Signed for and on behalf of the Selwyn District Council:



Emma Larsen

Head of Resource Consents



- NOTES**
1. AERIAL IMAGERY AND EXISTING BOUNDARIES HAVE BEEN SOURCED FROM LINZ.
 2. LOT AREAS AND DIMENSIONS ARE SUBJECT TO FINAL SURVEY.
 3. A FULL ASSESSMENT OF EASEMENTS WILL BE UNDERTAKEN AFTER THE ENGINEERING ACCEPTANCE STAGE AND ADDED WHERE REQUIRED.
 4. ALL MEASUREMENTS ARE IN METRES UNLESS STATED.

RESERVES TO VEST

- LOTS 3000, 3001, 3002 & 3003 WILL VEST AS LOCAL PURPOSE RESERVES IN THE SELWYN DISTRICT COUNCIL.

CONSENT NOTICES

- AREAS G & H ARE SUBJECT TO AN ONGOING CONSENT NOTICE REQUIRING DETAILED SITE INVESTIGATION SHOULD THESE AREAS BE DEVELOPED FOR RESIDENTIAL ACTIVITIES.

LEGEND

- SUBDIVISION SITE BOUNDARY
- SUB-STAGE BOUNDARY

**AS APPROVED BY
SELWYN DISTRICT COUNCIL
Planning Department**

**RESOURCE CONSENT
RC255620**

13/08/2025 andre.salvador

DEVELOPMENT STATISTICS - OVERALL				
Section Type	No. of Lots	Average Lot Size (m ²)	Total Area (m ²)	%
Medium Density	175	451	79002	8.63
Comprehensive Development	8		17184	1.88
Commerical	1		30249	3.30
Future school site	1		39982	4.37
Reserve	4		1019	0.11
SMA	1		41435	4.53
Utility Lot	11		75	0.01
Balance Lot	2		565508	61.79
Road to Vest	2		56377	6.16
Private Access Road	2		1408	0.15
Future Stage (1C)	1		83000	9.07
Total	208		915239	100